

Forsyth County Procurement

Donna H. Kukarola, CPPO, CPPB, Director

August 9, 2021

ADDENDUM #1

Bid 21-109-5211

For:

Providing all materials, equipment, and labor for the rehabilitation, restoration, and renewal of the Big Creek Greenway, Phase 2, from Union Hill Road to Fowler Park, approximately 0.859 miles. We are requesting 3 alternates in construction, timber deck, FRP Deck and concrete deck – it will be at the discretion of the County which solution is chosen.

This addendum supersedes and supplements all portions of the bidding documents and becomes part of the contract documents for the above-referenced project.

Where any item called for in the specifications or indicated on the drawings is supplemented hereby, the original requirements shall remain in effect.

Where any original item is amended, voided or superseded hereby, the provision of such item not so specifically amended, voided or superseded shall remain in effect.

Response to questions received: (response in italics)

- 1. Tt appears that the plans do not show where the elevation changes occur and what substructure configurations are required along the pathway. Can you please clarify? As noted on the plans, the proposed boardwalk plan and profile shall be replaced on the existing alignment and profile unless noted otherwise. No locations on this segment (Segment 2) are proposed to be modified from the existing alignment or elevation of what was originally constructed in the field. Typical boardwalk structure details provided on the 35-series plan sheets provide sufficient information to layout the proposed trail. We anticipate the typical trail layout will be 12' spans modified as required for curves and adhering to all plan requirements.
- 2. What is the completion time and liquidated damages? Contractor is to provide the schedule on Page 3 on the Bid Documents. Liquidated Damages are listed on page 49 (in sample contract).

Clarifications to Bid Documents:

- 1. Attached is Revised Standard Construction Scope Exhibit to be used.
- 2. Attached are Revised Final Plans to be used, revisions have been clouded.
- 3. Attached is Revised Bid Schedule to be used in submitting your bid.

End of Addendum #1



Forsyth County Department of Public Facilities Capital Projects

STANDARD CONSTRUCTION SCOPE EXHIBIT ADDEDNUM #1

A. GENERAL

- 1.) "Provide" shall mean furnished and installed complete.
- 2.) "Contractor" includes the General Contractor and all sub-contractors that fall under General Contractor's executed agreement with Owner/General Contractor.
- 3.) Contractor shall provide all supervision, labor, equipment, tools, supplies and materials to provide the complete project scope of work.
- 4.) By entering into contract with the Owner Contractor confirms that he is an expert in this field of work and is fully knowledgeable and experienced in all aspects of procedures, methods, regulations, codes and municipal requirements and Contractor further acknowledges that the Owner is relying on this expertise.
- 5.) Contractor shall provide all work in accordance with the Latest edition of the International Building Code (IBC) recognized by the State of Georgia.
- 6.) Contractor shall perform all work in accordance with the most current version of the regulation of the Federal Occupational Safety and Health Act (OSHA).
- 7.) All quantities shown on the plans are for accounting and/or permitting purposes only and are not to be used for bid pricing, unless noted specifically on the bid form as authored by the owner. Contractor shall determine its bid price based on the information which is inferable within the complete bid documents.
- 8.) Architect's and/or Engineers schedules contained within construction plans or specifications are a theoretical, schematic, order of magnitude estimate which do not reflect the actual start project dates and shall not to be used by the contractor for quantifying costs associated with its construction schedule. The contractor is responsible to determine its construction schedule unless the bid documents specifically require a maximum construction schedule duration.
- 9.) Contractor shall Provide own scaffold, lifts, and/or ladders and all other equipment, plant, tools, shoring required to complete this project.
- 10.) All special inspections required by the project specifications shall be scheduled by the contractor with the owners third party inspection firm. Completion of any work without the required inspections shall be cause for the contactor to remove the uninspected work to the satisfaction of the owner, engineer, inspector and replace of the work in accordance with the specification as and inspectors requirements, at the sole cost of the contractor.
- 11.) All goods and materials to be furnished and installed consistent with the manufacture's recommendations.
- 12.) In absence of specifications the most applicable State of Georgia standard specification shall apply as determined by the owner or EOR.
- 13.) Contractor is responsible for daily cleanup of the work area including removal and proper disposal of trash and debris to the satisfaction of the owner and/or architect, including but not limited to a minimum of 1 full man-day of clean-up per week of the construction schedule.

B. SITE WORK

- 1.) The General Contractor shall be solely responsible for obtaining the NPDES Construction Storm Water General Permit as the Primary Permittee; inclusive of Notice of Intent (NOI), Notice of Termination (NOT) all fees, inspections, records, data, corrections, fines or any other requirements enumerated within the NPDES Construction Storm Water General Permit, as applies to this project.
- 2.) Contractor shall provide a qualified third party NPDES inspection firm for all post rain fall water quality inspections, sampling and lab testing; weekly inspection reports; upload of all required reports and test data to the GEOS web site; and distribute reports directly to the Owner and Engineer.
- 3.) Contractor shall provide a rain meter and maintain a daily log of precipitation at the site, perform daily BMP inspections to continuously maintain and provide repairs of the BMPs required by the erosion control plans.

- 4.) Manage all site work and stormwater drainage in a manner consistent with the erosion control plans.
- 5.) Contractor agrees that it may expect to lose work-days due to inclement weather as follows:

January - 12 daysFebruary - 12 daysMarch - 10 daysApril - 8 daysMay - 6 daysJune - 5 daysJuly - 5 daysAugust - 5 daysSeptember - 5 daysOctober - 6 daysNovember - 8 daysDecember - 10 day

An actual inclement weather delay day shall qualify by any one or combination of the following conditions occurring during normal work hours, Monday through Friday:

- a. Wind speed exceeds 30 miles per hour for more than 3 hours 1-day delay
- b. Temperature is below 32 degrees (F) for more than 3 hours 1-day delay

November through March:

- c. Precipitation greater than 0.25 inches on a single day = 1 delay day
- d. Precipitation greater than 0.5 inches on a single day = 1 day delay + 1 drying day

May through October:

- e. Precipitation greater than 0.5 inches on a single day = 1 delay day
- f. Precipitation greater than 1.0 inch on a single day = 1 day delay + 1 drying day

Actual inclement weather days shall be determined via NOAA historical weather data connected to the address or latitude and longitude of the job site. Extension of the contract schedule for inclement weather delay will be requested on each pay application. Only critical path site work can be considered for inclement weather delay. Work in interior spaces will not be considered for inclement weather delay unless extenuating circumstances are determined by the Architect/Owner. The Contractor shall not be entitled to an extension of the contract time due to normal inclement weather, unless the Contractor can substantiate to the satisfaction of the Owner/Architect that there was greater than normal inclement weather, considering the full term of the contract, and that such greater than normal inclement weather actually delayed the work.

- 6.) Provide and maintain temporary construction fencing with screening around all site work.
- 7.) Contractor is responsible for implementing any and all security measures required to protect its work, the work site, circulation of its construction operations and the public; including but not limited to trespassing, vandalism, theft, accidents, injury and/or death.
- 8.) Traffic control shall be provided incompliance the latest version of the Manual on Uniform Traffic Control Devices. Contractor will provide construction layout in accordance with Section 149 prior to beginning any construction work.
- 9.) Construction that requires lane closure or interferes with the traffic will be limited to the owners satisfaction, as occurs between 8 AM until 6 PM.
- 10.) Provide flagmen with radios and proper traffic control signage for all construction circulation outside of the work site construction fence.
- 11.) Prior to beginning work, the contractor shall perform a private underground utility locate at all excavation locations.
- 12.) Contractor shall perform excavations in accordance with OSHA 1926 Subpart P and O.C.G.A. Title 25 chapter 9 (2017).
- 13.) Contractor shall provide hand potholing and/or hydro-vac of all existing underground infrastructure, occurring within 2 feet or less horizontally from the side of infrastructure to the side of excavation, to determine the exact location of infrastructure items.
- 14.) Contractor shall restore disturbed grades smooth and provide grassing upon completion of work. All areas of grassing, regrassing, repair or restoration that have not grown-in to the satisfaction of the owner/architect within 30 days of seeding, shall be completely provided with new sod, by the contractor.

C. PROJECT MANAGEMENT

1.) Contractor shall utilize owners on-line project management application for all project documents including but not limited

to, all project plans specification and any revisions; RFI's, ASI's, submittals, project cash flow projection, schedule of values, critical path method construction schedule, pay applications, project executive summaries, Contractors executed copy of the contract and all change orders; all potential and active change issues; daily field reports, inclement weather logs and site photos; inspections reports (including owner provided inspections, if any), Owner/Architect/Contractor, OAC meeting minutes; Punch lists, closeout documents, project contact directory. *Software and training will be provided by the owner at no cost to Contractor*. Contractor shall seek and participate in any training necessary to utilize owner's software

- 2.) Approvals of all Cost Change Proposals in owner's on-line project management application means, "Approval for recommendation to Forsyth County Director of Procurement and/or Board of Commissioners".
- 3.) Daily field reports to include weather description, temperature, inches of rain, wind conditions, active trades, general work areas and active work hours. Daily field reports are to be completed daily and must not be altered after 3 days.
- 4.) Contractor shall keep logs of all active RFI's, submittals, cost issues, pay applications, weather delays, field issues, upcoming work. All logs shall be updated and presented at each OAC meeting.
- 5.) Draft pay applications shall be submitted by the 1st of each month for the previous month and properly complete the standard Pay Application Inspection Checklists as a condition precedent of pay application approval, including update all project documents on owner's on-line project management website. See attached Pay Application Inspection Checklists.
- 6.) The Contractor shall submit a Schedule of Values, project Cashflow Projection and a detailed cost-loaded critical path method schedule, within 2 days of receiving a PO or within 10 days of receiving a notice to proceed.
- 7.) Prior to approval of it's first pay application, Contractor shall submit a complete closeout procedure schedule, schedule of values and a project cashflow projection.
- 8.) The project cashflow projection shall indicate the projected percentage of the original contract value for each pay application through the entire project including the cumulative percentage shown separately.
- 9.) As a condition precedent to approval of monthly pay applications, the contractor shall update all project documents on owner's on-line project management application.
- 10.) The Contractor's draft pay application must be reviewed at one OAC meeting prior to the pay application deadline.
- 11.) Schedules shall be provided in Critical path method format, cost-loaded, broken down by sequential phases of each trade and individual sub-trade work category's, sensitive/critical/major activities and milestones, and include building system and infrastructure service interruptions. Contractor shall update and submit the construction schedule monthly on a monthly basis or more frequently.
- 12.) Contractor shall hold OAC (Owner, Architect & Contractor) meetings as required to the satisfaction of the architect and owner, record all meeting minutes and submit all meeting minutes within 48 hours following each meeting. Contractors Project Manager and Superintendent are required to attend all OAC meetings.
- 13.) Contractor shall provide monthly executive summary consisting of major milestones, safety issues, costs and or schedule impacts and progress photos, at the time of each pay application.
- 14.) Contractor shall provide adequate project management, administrative and accounting personnel to ensure the project is run smoothly and expeditiously, inclusive of a full-time on-site English-speaking Superintendent.
- 15.) Project management and superintending personnel cannot be the same person.
- 16.) Contractor's Subcontractor's shall provide a qualified, competent, English speaking, full-time on-site supervisors.
- 17.) Contractor shall include a set of redline as-builts on the conformed for closeout set of plans provided by the architect at the end of the project.
- 18.) Contractor includes the cost of material escalation and availability of goods through final completion of the work in the original contract price.
- 19.) Procurement, delivery and/or storage of goods and materials shall not constitute right for payment until installed in its final condition and accepted by the owner; unless, the goods and materials are delivered to a secure, bonded warehouse facility and the county is provided a bill of sale for all goods and materials. Owner reserves the right to inspect and approve the proposed warehouse facility prior to acceptance of goods and materials. Payment for goods and materials shall not constitute acceptance by the owner.
- 20.) Contractor shall immediately notify the architect and Forsyth County Capital Projects Manager of new or potential cost impact items. Submit formal notification of cost issue to the architect and copy the Capital Projects Manager.
- 21.) Contractor to present formal change order requests in one or more OAC meetings prior to recommendation for contract

change.

- 22.) Contractor's change order request shall be submitted on the county's change order form and include all the following back-up information:
 - a. A narrative of the circumstances surrounding the cost issue.
 - b. The date, time and location the cost issue was discovered.
 - c. The date, time that the issue was first reported to the owner's representative, in writing.
 - d. All COR detail shall be provided on a material, labor and equipment basis and separated per logical sequence of the work for each issue with quote back-up for material costs.
 - e. A detailed breakdown of quantities.
 - f. Attachments with mark-ups of plans and details to clarify the COR scope of work.
 - g. Assumptions of production shall be justified in accordance with performance of actual work that was completed on the same project, that the contractor has self-performed, under similar conditions.
- 23.) All change orders are approved by procurement in accordance with the contract.
- 24.) Contractor shall take all pictures and video necessary to document the existing site conditions immediately prior to contractor's mobilization and notify owner of specific existing damage to surfaces or areas in contractors work area(s) prior to commencing work. Commencement of work shall constitute Contractors acceptance of all existing conditions.
- 25.) Should any of the items enumerated herein conflict or contradict any other requirements set forth in the entirety of the contract documents, the more stringent and highest level of quality requirement shall govern.
- 26.) Include consecutive workdays 6 days a week, Monday through Saturday, including any overtime needed to ensure the project schedule, until the work is complete.

Forsyth County normal work hours: (Ord. No. 87, 1-11-2006)

7:00 a.m. to 7:00 p.m. Monday to Friday

8:00 a.m. to 6: 00 p.m. Saturday

Forsyth County Project Pricing Worksheet REVISED ADDENDUM #1

Big Creek Greenway Rehabilitation Segment 2

Pay Item #	Item Description	Qty.	Unit	Unit Price	Total
	Trail				
210-0100	GRADING COMPLETE	1	LS		
310-5060	GR AGGR BASE CRS, 6 INCH, INCL MATL (AS DIRECTED)	44	SY		
441-0106	CONC SIDEWALK, 6 IN (AS DIRECTED)	40	SY		
				Sub Total	
	Erosion Control				
163-0232	TEMPORARY GRASSING	1	AC		
163-0240	MULCH	6	TN		
163-0300	CONSTRUCTION EXIT	2	EA		
165-0010	MAINTENANCE OF TEMPORARY SILT FENCE, TP C	4,396	LF		
165-0101	MAINTENANCE OF CONSTRUCTION EXIT	2	EA		
171-0030	TEMPORARY SILT FENCE, TYPE C	8,792	LF		
643-8200	BARRIER FENCE (ORANGE), 4 FT	372	LF		
700-6910	PERMANENT GRASSING	1	AC		
700-7000	AGRICULTURAL LIME	3	TN		
700-8000	FERTILIZER MIXED GRADE	2	TN		
700-8100	FERTILIZER NITROGEN CONTENT	50	LB		
				Sub Total	
	Signing & Marking				
	SOLID TRAFFIC STRIPE, 4 IN, WHITE (PAINT) (AS DIRECTED)	30	LF		
				Sub Total	
	Boardwalks				
540-1102	REMOVAL OF EXISTING BR, BOARDWALK 10	1	LS		
	HELICAL PILE - BOARDWALK 10	240	LF		
540-1102	REMOVAL OF EXISTING BR, BOARDWALK 11	1	LS		
	HELICAL PILE - BOARDWALK 11	780	LF		
540-1102	REMOVAL OF EXISTING BR, BOARDWALK 12	1	LS		
	HELICAL PILE - BOARDWALK 12	16,320	LF		
540-1102	REMOVAL OF EXISTING BR, BOARDWALK 13	1	LS		
	HELICAL PILE - BOARDWALK 13	4,740	LF		
				Sub Total	

	Alternate 1 Boardwalk Design - Timber Decking				
	BOARDWALK 10	1	LS		
	BOARDWALK 11	1	LS		
	BOARDWALK 12	1	LS		
	BOTHEWILK 12	1	LJ		
	BOARDWALK 13	1	LS		
	TIMBER HANDRAIL	2,358	LF		
	TIMBER CURB	6,378	LF		
				Alt 1 Sub Total	
	Alternate 2 Boardwalk Design - FRP Decking				
	BOARDWALK 10	1	LS		
	BOARDWALK 11	1	LS		
	BOARDWALK 12	1	LS		
	BOARDWALK 13	1	LS		
	STEEL HANDRAIL	2,358	LF		
	FRP CURB	6,378	LF		
				Alt 2 Sub Total	
	Alternate 3 Boardwalk Design - Concrete Decking				
	BOARDWALK 10	1	LS		
	BOARDWALK 11	1	LS		
	BOARDWALK 12	1	LS		
	BOARDWALK 13	1	LS		
	SOUTH TO	1			
	STEEL HANDRAIL	2,358	LF		
	CONCRETE CURB	6,378	LF		
				Alt 3 Sub Total	
				OJECT TOTAL =	
ALTERNATE 2 PROJECT TOTAL =					

BID SCHEDULE 21-109-5211 REVISED ADDENDUM #1

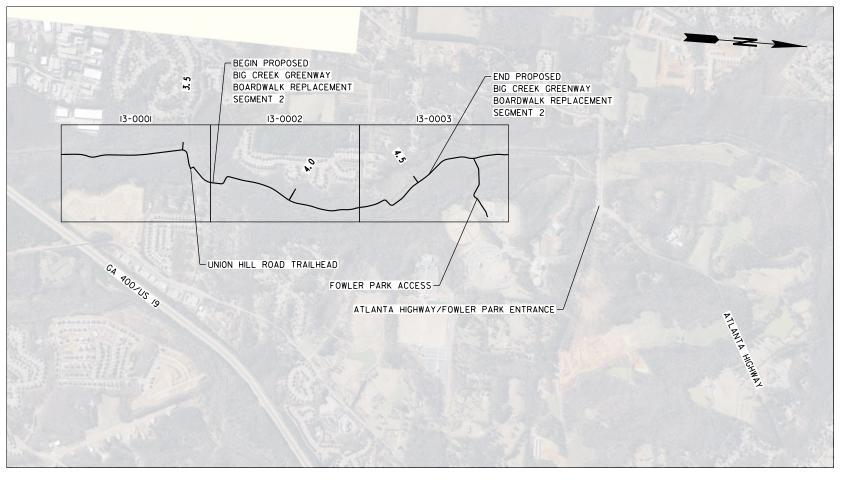
FOR: Providing all materials, equipment, and labor for the rehabilitation, restoration, and renewal of the Big Creek Greenway, Phase 2, from Union Hill Road to Fowler Park, approximately 0.859 miles. We are requesting 3 alternates in construction, timber deck, FRP Deck and concrete deck – it will be at the discretion of the County which solution is chosen.

1.	Alternate 1 Timber Deck with Steel Stringer		
	TOTAL BID AMOUNT ALTERNATE 1:	\$	
	(written format)		
2.	Alternate 2 FRP Deck with Steel Stringer		
	TOTAL BID AMOUNT ALTERNATE 2:	\$	
	(written format)		
3.	Alternate 3 Concrete Deck with Steel String		
	TOTAL BID AMOUNT ALTERNATE 3:	\$	
	(written format)		
Auth	orized Signature	Date	
Print	Name and Title	_	
Com	pany Name	-	

LOCATION SKETCH

FORSYTH COUNTY PARKS AND RECREATION

REHABILITATION, RESTORATION, AND RENEWAL OF BIG CREEK GREENWAY SEGMENT 2





Heath & Lineback Engineers
INCORPORATED
2390 CANTON ROAD, BUILDING 200
MARIETTA, GEORGIA 30066-5393

PREPARED BY:

THIS PROJECT IS 100% IN FORSYTH COUNTY.

THIS PROJECT HAS BEEN PREPARED USING THE HORIZONTAL GEORGIA COORDINATE SYSTEM OF 1984 (NAD 1983)/94 WEST ZONE.AND THE NORTH AMERICAN VERTICAL DATUM (NAVD)

DRAWING NO.	DESCRIPTION
01-0001	COVER SHEET & INDEX
04-0001 TO 04-0002	GENERAL NOTES
05-0001 TO 05-0006	TYPICAL SECTIONS & DETAILS
06-0001	SUMMARY OF QUANTITIES
13-0001 TO 13-0003	CONSTRUCTION PLAN
35-0001 TO 35-0006	BOARDWALK DETAILS

INDEX

THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANYWAY INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THE DEPARTMENT OF TRANSPORTATION IN ANY WAY. THE ATTENTION OF BIDDER IS SPECIFICALLY DIRECTED TO SUBSECTIONS 102.04,102.05, AND 104.03 OF THE SPECIFICATIONS.

LENGTH OF PROJECT	COUNTY No.117
NET LENGTH OF TRAIL NET LENGTH OF BOARDWALK NET LENGTH OF BRIDGES NET LENGTH OF PROJECT GROSS LENGTH OF PROJECT	MILES 0.000 0.827 0.000 0.859 0.859

PLANS COMPLETED 7-29-2021		
REVISIONS		
	_	DRAWING No.

DESIGN

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LITILITY OWNER SERVICE SERVICE				Entra Consultation (C. Encellen)	1 300	UTILITI		NERS HAVE FA	CILITIES ON THIS PROJEC	от:		
	GEORGIA POWER COMPANY ELECTRIC Utilities Protection Center, Inc.									GE	DRGIA81	1 .

Know what's **below.** Call before you dig.

PROJECT GENERAL NOTES

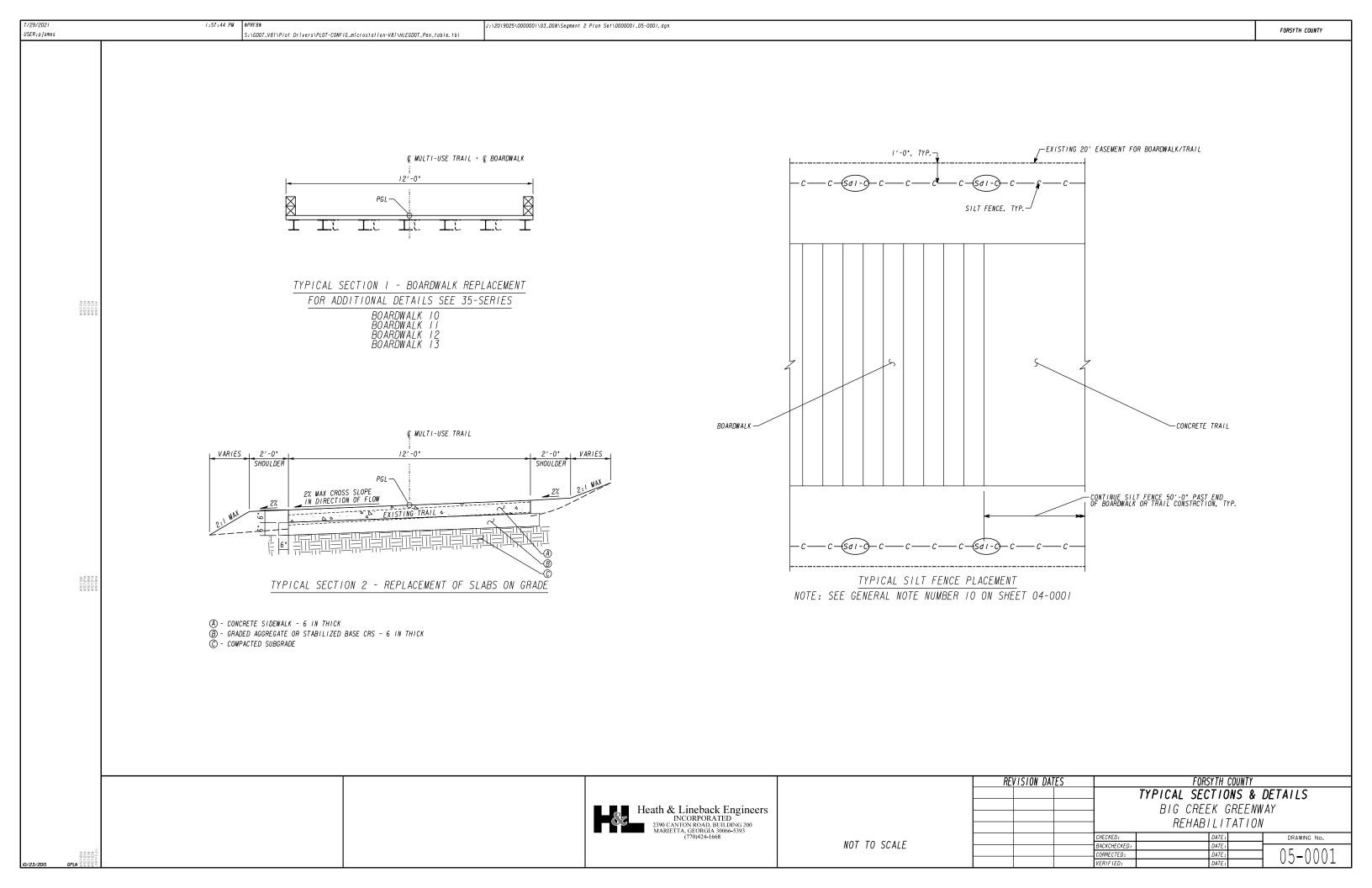
- I. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GOOT STANDARD SPECIFICATIONS, CURRENT EDITION, UNLESS OTHERWISE NOTED ON THE PLANS.
- -2-THE BOARDWALK AND BERLACEMENT OF ANY SLAB ON GRADE SHALL BE REPLACED ON THE EXISTING ALIGNMENT AND PROFILE UNLESS OTHERWISE NOTED ON PLANS
 - 3. THE ACCESS POINT AND STAGING AREA FOR THE DEMOLITION AND CONSTRUCTION OF THE BOARDWALKS AND ANY AT-GRADE TRAIL SEGMENTS IS THE UNION HILL ROAD TRAILHEAD. THE CONTRACTORS WORK ZONE IS LIMITED TO THE TRAILHEAD FOR THE DURATION OF CONSTRUCTION.
- 4. THE EXISTING BOARDWALK, INCLUDING THE CONNECTION TO FOWLER PARK, IS LIMITED IN IT'S CAPACITY TO HANDLE CONSTRUCTION ACCESS POINT WILL BE FROM THE UNION HILL ROAD TRAILHEAD AND THE EXISTING BOARDWALK WILL BE DEMOED AND REPLACED FROM THE UNION HILL ROAD NORTH TO PROVIDE EQUIPMENT ACCESS IN TO AND OUT OF THE SITE. THE CONTRACTOR SHALL BE REPAIRED AT NO COST TO THE COUNTY.
- 5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE THE COUNTY WITH A DETAILED CONSTRUCTION ACCESS, STAGING AREA, AND SECURITY PLAN FOR REVIEW AND APPROVAL. THE SECURITY PLAN SHALL INCLUDE BARRIERS AND SIGNAGE SUFFICIENT TO KEEP THE PUBLIC OUT OF THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING ACCESS TO THE WORK SITE INCLUDING TRAILHEAD AND NEIGHBORHOOD ENTRANCES.
- 6. THE PROPOSED BOARDWALKS SHALL BE CONSTRUCTED FROM THE TOP DOWN. NO EQUIPMENT IS PERMITTED TO BE WITHIN WETLANDS OR STREAMS AT ANY TIME.
- 7. ALL PROPOSED BOARDWALK 30° AND ABOVE THE FINISHED GROUNDLINE SHALL HAVE RAILING AS DETAILED ON THE STRUCTURAL BOARDWALK PLANS. THE CONTINUOUS HANDRAIL THROUGH AREAS WHERE THE EXISTING GRADE INTERMITTENTLY TRANSITIONS ABOVE AND BELOW 30° TO THE WALKING SURFACE OF THE BOARDWALK, SUCH THAT A CONTINUOUS SECTION OF HANDRAIL OR TOE CURB SHALL NOT BE LESS THAN 10 BENTS IN LENGTH AND COMPLY WITH THE CODE REQUIREMENTS FOR HANDRAILS.
- 8. IF THE BOARDWALK IS RAISED, EACH SPAN SHALL RAISE IN PROFILE NO MORE THAN 5° PER SPAN TO COMPLY WITH ADA REQUIREMENT OF 5% MAXIMUM SLOPE.
- 9. IF THE SLAB ON GRADE IS RAISED, GRADE SHALL NOT EXCEED THE ADA REQUIREMENT OF 5% MAXIMUM SLOPE.

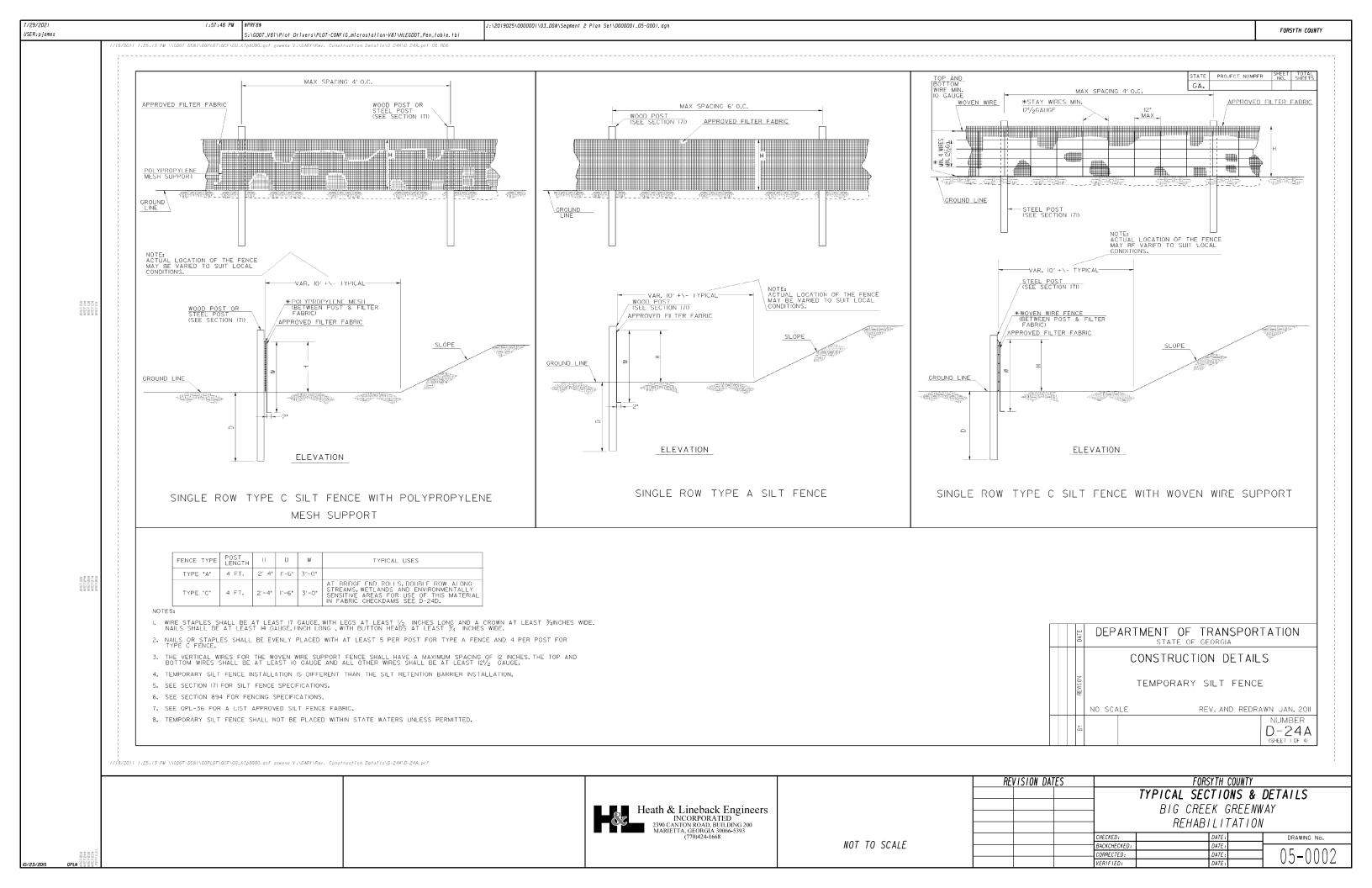
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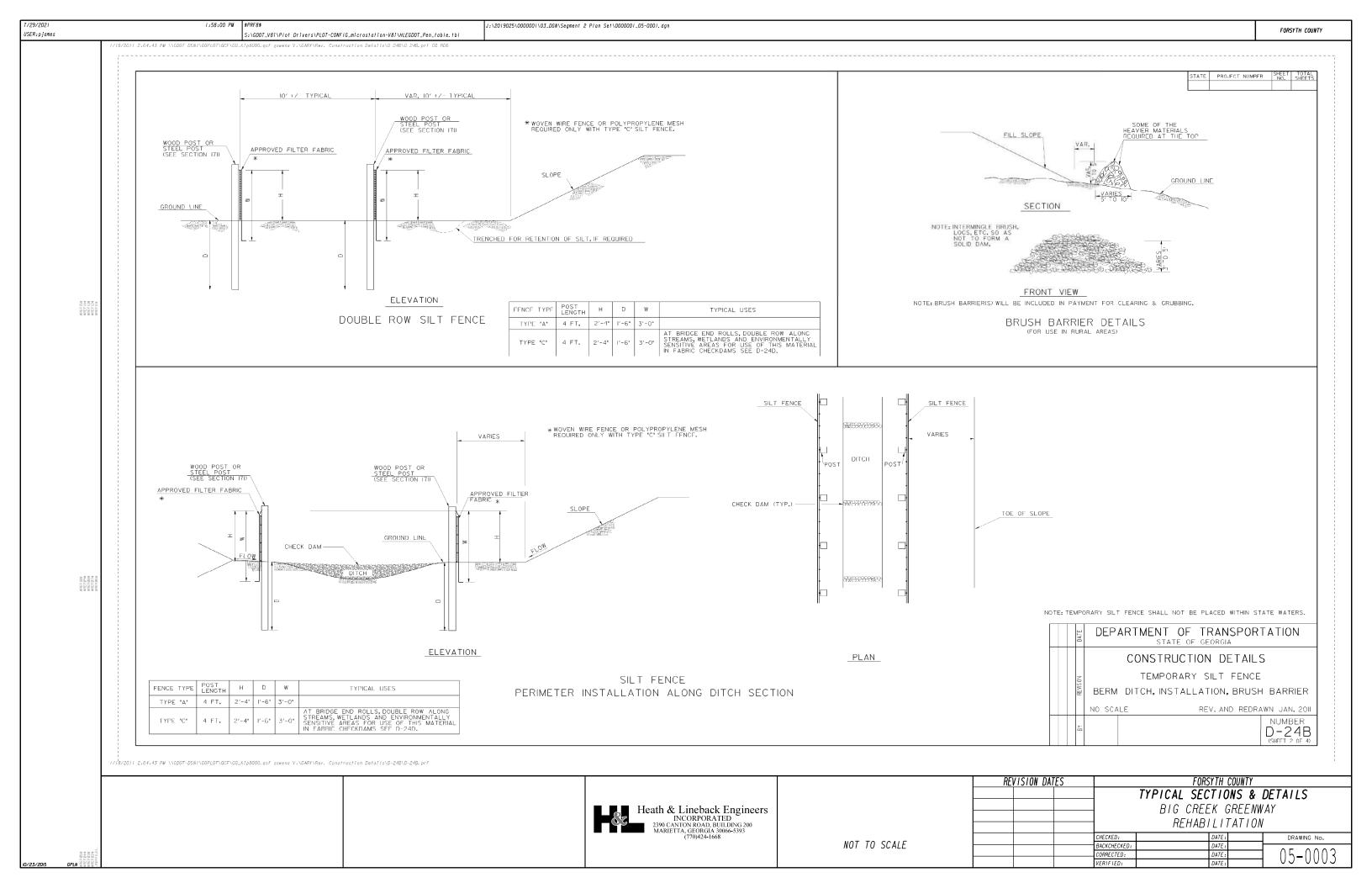
- IO. ALL AREAS OF CONSTRUCTION SHALL BE PROTECTED BY SILT FENCE ALONG THE LIMITS OF THE 20' TRAIL EASEMENT, EXCEPT WHERE ALL WORK IS REQUIRED TO BE PERFORMED FROM THE TOP OF BOARDWALK. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SEDIMENT WITHIN THE ENTIRETY OF THE WORK ZONE AND SILT FENCE IS REQUIRED IN ALL AREAS OF GROUND DISTURBANCE.
- II. THE CONTRACTOR SHALL HAVE AL UTILITIES MARKED PRIOR TO BEGINNING WORK AND SHALL PROTECT ANY UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE ANY EXISTING UTILITIES AS A RESULT OF THE TRAIL REPAIR WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF AN INCIDENT, THE CONTRACTOR SHALL ALERT THE COUNTY OF THE POSSIBLE DAMAGE IMMEDIATELY.
- 12. THE COUNTY WILL CLOSE THE ENTIRE TRAIL SEGMENT FROM UNION HILL ROAD TO THE FOWLER PARK CONNECTION. THE CONTRACTOR IN COORDINATION WITH THE COUNTY IS RESPONSIBLE FOR THE PLACEMENT OF ADEQUATE SIGNAGE AND BARRIERS AND SHALL MAINTAIN UNTIL COMPLETION OF THE PROJECT.
- 13. IN AREAS WHERE THE DISTANCE BETWEEN TOP OF DECK AND BOTTOM OF BEAM WILL BE GREATER THAN THE GROUND CLEARANCE, EXCAVATION WILL BE REQUIRED. SOME ELEMENTS OF THE STRUCTURE AT TRANSITIONS BETWEEN AT-GRADE CONCRETE TRAIL AND PROPOSED BOARDWALK WILL BE BURIED. THE CONTRACTOR SHALL GRADE TO DRAIN TO ENSURE THE STRINGERS ARE OUT OF THE GROUND AS QUICKLY AS POSSIBLE OVER THE FIRST COUPLE OF SPANS.

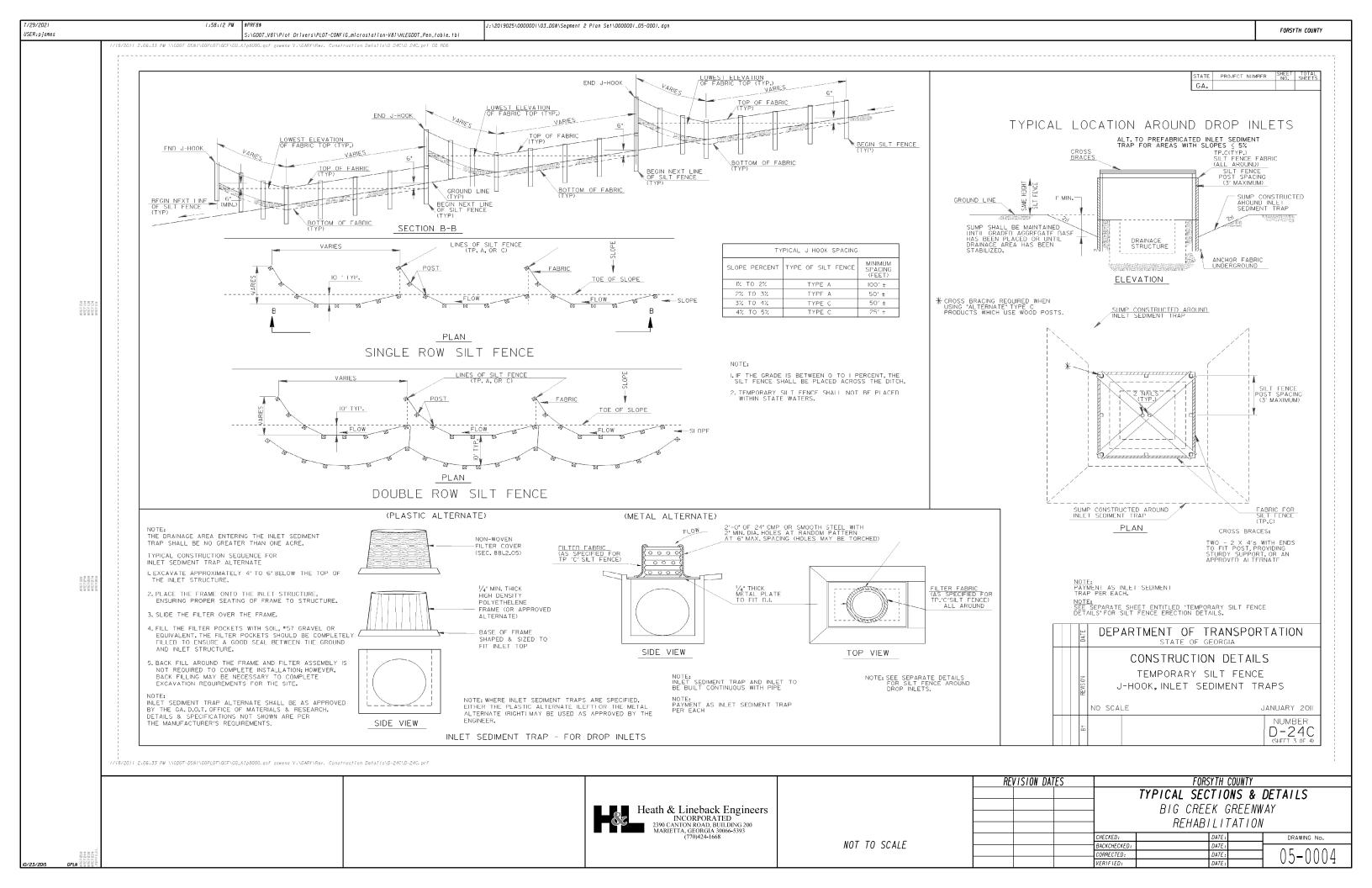
	REVISION DATES		FORSYTH COUNTY	
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Heath & Lineback Engineers		— RII	G CREEK GREEN	
INCORPORATED			REHABILITATIO	
2390 CANTON ROAD, BUILDING 200 MARIETTA, GEORGIA 30066-5393				
(770)424-1668		CHECKED:	DATE:	DRAWING No.
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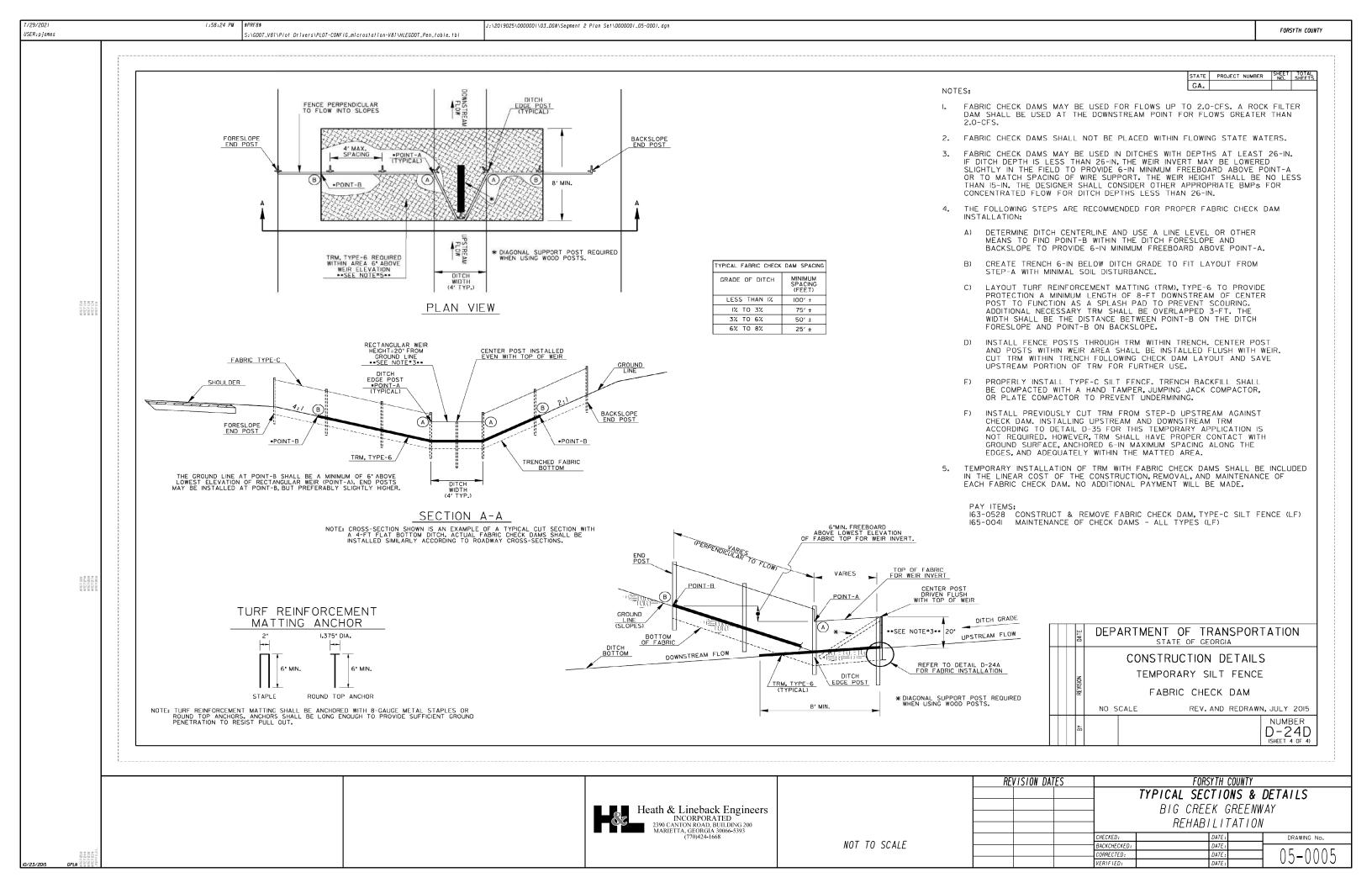
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	PROJECT GENERAL NOTES CONT.	\neg
	14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS SHOWN PRIOR TO ANY CONSTRUCTION AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY DISCREPANCIES.	_
	15. DIMENSIONS ARE TO FACE OF STRUCTURE AND CENTER LINE OF TRAIL, UNLESS OTHERWISE NOTED.	
	16. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION AND MAINTAINED WHEN WORKING IN CLOSE PROXIMITY TO PUBLIC ROADS.	
	17. AFTER ALL NEW CONSTRUCTION IS COMPLETED CONTRACTOR SHALL PRESSURE WASH THE TRAIL. THE CONTRACTOR SHALL INCLUDE THIS COST IN THE "GRADING COMPLETE" BID ITEM.	
	18. CONTRACTOR IS CAUTIONED ABOUT THE PRESENCE OF UNDERGROUND UTILITIES AT OR NEAR THE PROPOSED IMPROVEMENTS THROUGHOUT THIS PROJECT. CALL BEFORE YOU DIG: 1-800-282-7411.	
	19. ALL STORM DRAIN PIPES WITHIN THE AREA OF WORK ARE TO BE COMPLETELY CLEANED OF ALL SILT AND DEBRIS AT THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THIS COST IN THE GRADING COMPLETE BID ITEM.	
	20. THERE IS NO SUITABLE PLACE TO BURY THE CONSTRUCTION DEBRIS WITHIN THE PROJECT'S LIMITS. THE CONTRACTOR SHALL PROVIDE AN ENVIRONMENTALLY APPROVED SITE TO DISPOSE OF THE EXISTING CONSTRUCTION DEBRIS AT NO ADDITIONAL COST TO THE COUNTY.	
	21. A NOTICE OF INTENT IS NOT REQUIRED FOR THIS PROJECT.	
	22. DIRT FOR FILL SHALL BE CLEAN, FREE OF DEBRIS, ORGANICS, DELETERIOUS MATERIAL AND ROCKS GREATER THAN 3° DIA. SEE GEORGIA STANDARD SPECIFICATIONS FOR SUITABLE SOIL TYPES FOR FILL.	
	23. MAX CUT OR FILL SLOPES SHALL BE 2:1 (H:V), UNLESS SPECIFICALLY NOTED.	
\$ \$ \$ \$ 0.00 % CD	24. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PROMPTLY UPON DISCOVERY.	
	25. ANY FILL AREAS MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR.	
	26. PLACE CONSTRUCTION EXITS AND INSTALL PERIMETER BMPS AS SHOWN ON PLANS.	
	27. SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED DAILY. MAINTAIN BMPS THROUGHOUT LAND DISTURBANCE ACTIVITY.	
	28. THE LAYOUT OF TRAIL IS SHOWN IN RELATION TO BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LAYOUT WITH OWNER PRIOR TO CONSTRUCTION OF TRAIL.	
	29. THE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN AND NEAT CONDITION. ALL DEBRIS, VEGETATION WHICH HAS BEEN REMOVED, LUMBER, CONCRETE, ETC., SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.	
	30. ALL WASTE FROM DEMOLITION OPERATIONS SHALL BE HAULED OFFSITE AND DISPOSED OF LEGALLY.	
	31. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK.	
	32. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK. ANY DAMAGE TO ADJACENT ROADS, WALKS AND OTHER EXISTING FACILITIES CAUSED BY CONTRACTORS SHALL BE REPAIRED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION BY THE CONTRACTOR AT NO COST TO OWNER.	THE
	33. MILE MARKER LOCATIONS ARE SHOWN FOR REFERENCE ONLY. FIELD CONFIRM LOCATIONS WITH COUNTY PRIOR TO CONSTRUCTION.	
	34. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.	
	35. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL TO TREAT THE SEDIMENT SOURCE.	
	36. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.	
(2)\$ 009\$ 008\$	37. EXISTING BOARDWALK POSTS TO BE REMOVED SHALL BE REMOVED TO EXISTING GROUND LINE.	
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	REVISION DATES FORSYTH COUNTY	
	GENERAL NOT	S
	Heath & Lineback Engineers INCORPORATED 2390 CANTON ROAD, BUILDING 200 REHABILITATIO	
	MARIETTA, GEORGIA 30066-5393 (770)424-1668 CHECKED: DATE:	DRAWING No.
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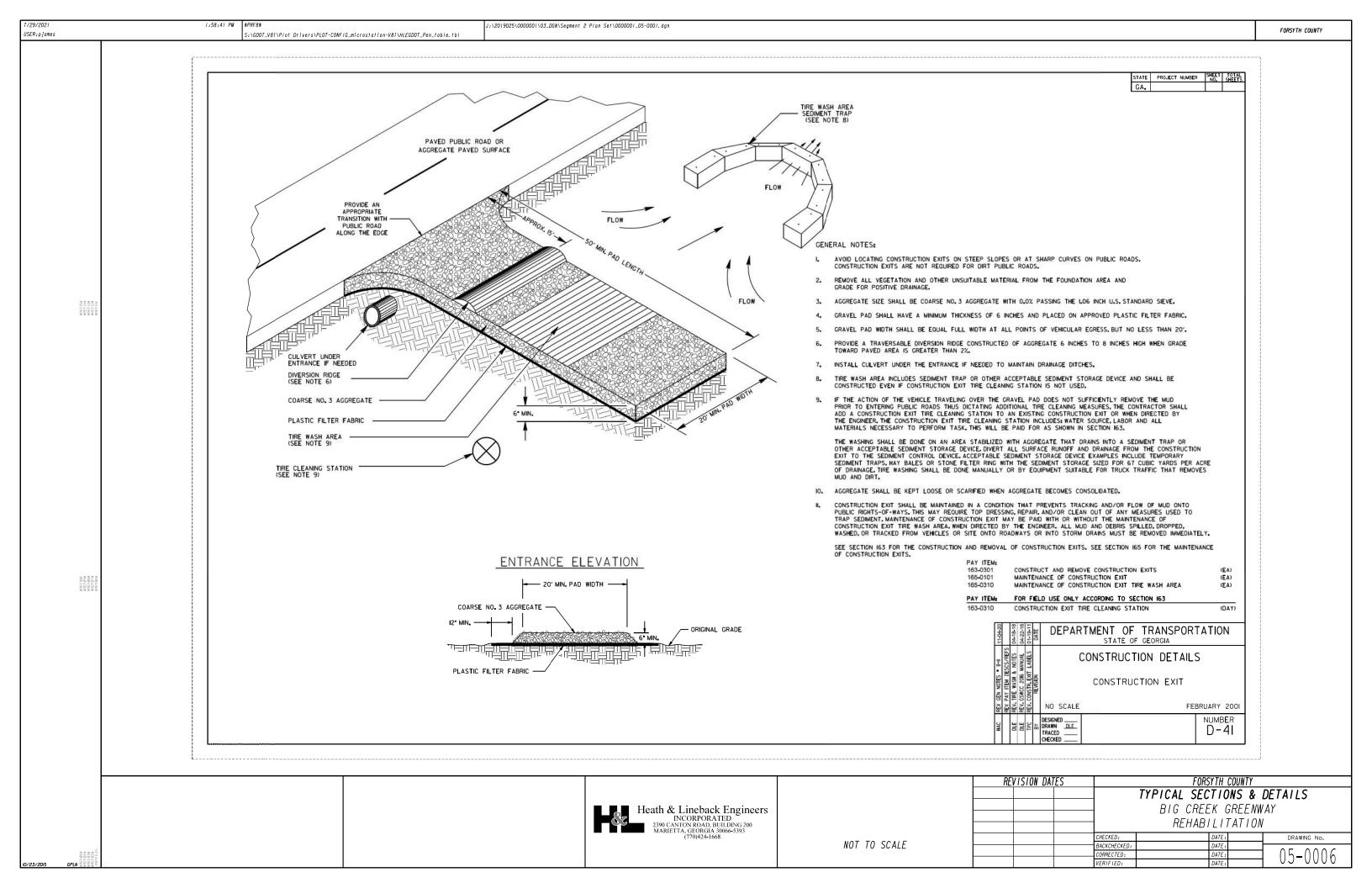












	GRADING COMPLETE
TOTAL	I LS
GR	AGGR BASE CRS. 6 INCH. INCL WATE
AS DI	RECTED 44 SY
	CONCRETE SIDEWALK. 6 IN
AS DI	RECTED 40 SY
	CONSTRUCTION EXIT
TOTAL	2 EA
	MAINTENANCE OF TEMPORARY SILT FENCE, TP C
TOTAL	4396 LF
М	AINTENANCE OF CONSTRUCTION EXTEN
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GRASSING			AGRICULTURAL LIME	FERTILIZER MIXED GRADE	FERTILIZER NITROGEN CONTENT	MULCH
	UNIT	QUANTITY	TN	TN	LB	TN
PERMANENT GRASSING	AC	1	3	1	50	3
TEMPORARY GRASSING	AC	1	0	1	0	3
	TOTALS	2	3	2	50	6

SOLID TRAFFIC STRIPE, 4 IN.
WHITE (PAINT)

ORANGE BARRIER FENCE

30 LF

372 LF

AS DIRECTED

AS DIRECTED

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TOTAL					780
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			00.44	20114111 : 7	
TOTAL	HELICA	L PILE	- BUAF		4740
TUTAL					7170
		TIMBER	HANDRA	A/L	
TOTAL					2358

TIMBER TOE CURB

6378 LF

TOTAL

REVISION DATES		FORSYTH COUNTY			
		SUMMARY QUANTITIES			
		BIG CREEK GREENWAY			
		REHABILITATION			
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